

EDINBURG CISD

PURCHASING DEPARTMENT

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DOMINGA "MINGA" VELA, President
CARMEN GONZÁLEZ, Vice President
OSCAR SALINAS, Secretary
LUIS ALAMIA, Member
MIGUEL "MIKE" FARIAS, Member
LETICIA "LETTY" GARCIA, Member
XAVIER SALINAS, Member

Dr. Mario H. Salinas, Superintendent

**ADDENDUM 1
CSP 23-26
GYMNASIUM ADDITIONS/IMPROVEMENTS FOR
BETTS & KENNEDY ELEMENTARY SCHOOLS
November 9, 2022**

I. INSTRUCTIONS:

- A. The following changes, omissions or alterations to the specification and drawings shall be made insofar as the specifications and drawings are inconsistent with following, this addendum shall govern.
- B. Acknowledge receipt of this addendum by inserting its number and date of issue in the place provided for same in the proposal. This addendum forms a part of the Contract Documents.
- C. It is imperative that this addendum be inserted INTO set of specifications.

II. SEE ADDENDUM BELOW:

PLEASE SEE ATTACHED:

Respectfully Submitted,

Amaro Tijerina
Director of Purchasing

(Signature of authorized officer)

Date

Company Name

Nondiscrimination Statement

It is the policy of Edinburg CISD not to discriminate on the basis of gender, age, handicap, religion, race, color, or national origin in its educational programs.
Es poliza del Distrito Escolar de Edinburg el no discriminar por razones con base en genero, edad, religion, raza, color origen nacional, ni discapacidad dentro de sus programas educacionales.

Addendum Number 01

(11/08/2022)

To Drawings and Specifications dated 10/12/2022

Edinburg CISD Gymnasium Addition & Renovation Project –
John F. Kennedy Elementary & Melissa Dotson Betts Elementary
CSP 23-26



Prepared By: PBK Sports Architects, Inc.
6316 North 10th Street Bldg. A, Ste 1
McAllen, Texas 78504

PBK Project No.: 220019

Notice to Proposers:

- A. Receipt of this Addendum shall be acknowledged on the Proposal Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.

GENERAL

Item No. 01: Davis-Bacon Act is not applicable for this project(s).

Item No. 02: Please provide Bid Bond for each individual gym project.

SPECIFICATIONS

Item No. 03: Project Manual, Division 01 – Specification 01 21 00 Allowances (A) Delete in its entirety.
Replace in its entirety. Refer to attached.

Item No. 04: Project Manual, Division 01 - Specification 01 22 00 Unit Prices (A) Delete in its entirety.
Replace in its entirety. Refer to attached.

DRAWINGS

- Item No. 05:** Sheet S3.0: WALL LAYOUT PLAN. (John F. Kennedy Elem.)
Add sheet S3.01.
- Item No. 06:** Sheet S4.0: ROOF FRAMING PLAN. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet S4.0. Notes & details have been updated.
- Item No. 07:** Sheet S5.2: STEEL TYPICAL DETAILS. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet S5.2. New details have been added.
- Item No. 08:** Sheet AD101: 1ST FLOOR DEMOLITION PLAN – COMPOSITE. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet AD101. Demo notes have been updated.
- Item No. 09:** Sheet AD501: DEMOLITION EXTERIOR & INTERIOR ELEVATIONS. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet AD501. Demo notes have been updated.
- Item No. 10:** Sheet A-301: ROOF PLAN – COMPOSITE. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet A-301. Roof Metal – Nomenclature details have been updated.
- Item No. 11:** Sheet E5.01: ELECTRICAL ONE LINE DIAGRAMS. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet E5.01. Added Feeder / Branch Circuit Schedule.
- Item No. 12:** Sheet T2.01: TECHNOLOGY PLAN. Delete in its entirety. (John F. Kennedy Elem.)
Replace with revised sheet T2.01. Notes have been updated.
- Item No. 13:** Sheet S4.0: ROOF FRAMING PLAN. Delete in its entirety. (Mellissa D. Betts Elem.)
Replace with revised sheet S4.0. Notes & details have been updated.
- Item No. 14:** Sheet S5.2: STEEL TYPICAL DETAILS. Delete in its entirety. (Mellissa D. Betts Elem.)
Replace with revised sheet S5.2. New details have been added.
- Item No. 15:** Sheet A-301: ROOF PLAN – COMPOSITE. Delete in its entirety. (Mellissa D. Betts Elem.)
Replace with revised sheet A-301. Roof Metal – Nomenclature details have been updated.
- Item No. 16:** Sheet E5.01: ELECTRICAL ONE LINE DIAGRAMS. Delete in its entirety. (Mellissa D. Betts Elem.)
Replace with revised sheet E5.01. Added Feeder / Branch Circuit Schedule.
- Item No. 17:** Sheet T2.01: TECHNOLOGY PLAN. Delete in its entirety. (Mellissa D. Betts Elem.)
Replace with revised sheet T2.01. Notes have been updated.

QUESTIONS

1: The issue at hand can be found on either the Betts or Kennedy Electrical plans. As per E5.01, the one-line diagram shows feeder circuits from a Disconnect to Panel HA as (200N), from Panel HA to XFMR TLA as (45) and from Disconnect to Panel LA as (125N). There is no schedule to be found to indicate the wire size/conduit to be used. Please advise as soon as possible please. Thank you

- Please see attached sheets E5.01 for both JFK & Betts Gyms for added information on the Feeder/Branch Circuit Schedule.

END OF ADDENDUM NO. 01

Addendum No. 01

SECTION 01 21 00 - ALLOWANCES

PART 1 GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes: Administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include:
 - 1. Lump sum allowances.
 - 2. Unit cost allowances.
 - 3. Quantity allowances.
 - 4. Contingency allowances.
 - 5. Testing and inspecting allowances.

1.3 COORDINATION

- A. Coordinate allowance items with other portions of the Work.

1.4 LUMP SUM, UNIT COST, AND QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by School District or selected by Architect under allowance and shall include taxes, freight, and delivery to site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by School District or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to School District, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by School District. Deliver unused material to School District's storage space as directed.

1.5 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for School District's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's related costs for products and equipment ordered by School District under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to School District by Change Order.

1.6 TESTING AND INSPECTING ALLOWANCES

- A. Testing and inspecting allowances include the cost of engaging testing agencies, actual tests and inspections, and reporting results.
- B. The allowance does not include incidental labor required to assist the testing agency or costs for retesting if previous tests and inspections result in failure. The cost for incidental labor to assist the testing agency shall be included in the Contract Sum.

- C. Costs of services not required by the Contract Documents are not included in the allowance.
- D. At Project closeout, credit unused amounts remaining in the testing and inspecting allowance to School District by Change Order.

1.7 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
 - 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit cost allowances.
 - 4. School District reserves the right to establish the quantity of Work in place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
 - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
 - 2. No change to Contractor's indirect expense is permitted for selection of higher or lower priced materials or systems of the same scope and nature as originally indicated.

**PART 2 PRODUCTS
NOT USED**

PART 3 EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related Work.

3.3 ALLOWANCE

- A. Owner's Contingency Allowance for Each Individual Gym Amount:.....\$25,000.00

END OF SECTION 01 21 00

SECTION 01 22 00 - UNIT PRICES

PART 1 GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes: Administrative and procedural requirements for unit prices.

1.3 DEFINITIONS

- A. Refer to Section 01 42 16 - Definitions for the following terms:
 - 1. Unit Price.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: Refer to the individual Specification Sections for Work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. School District reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this Work measured, at School District's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 PRODUCTS

Not Used

PART 3 EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1 – Replace existing T1-11 wood panel and framing that are damaged or deteriorated by cause of termite and/or water damage. The T1-11 wood panel size and framing shall match existing.
 - 1. Description: Furnish the entire Unit Price, including overhead and profit for replacing existing with new T1-11 wood panel & framing to match existing in the event damage and / or deterioration is encountered as cause of termite and/or damage, as noted in the General Notes, and as shown on the Drawings. The unit priced shall be dollars (\$) per square foot for all wall areas in the contract area shown on the drawings. Enter unit price on Bid Form.
 - 2. Unit of Measure: Square Foot (SF)
 - 3. Unit Price: \$[] (USD)

END OF SECTION 01 22 00

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November 8, 2022

ECISD JFK Elementary School Gym Addition Addendum No. 1

CE Project No.:22-143

The following changes, additions, and/or deletions are hereby made a part of the Construction Documents for the above noted project, fully and completely as if the same were fully contained therein. All other terms, conditions, and specifications of the original Invitation to Bid remain unchanged and is included in the contract.

PLEASE NOTE CHANGES AS FOLLOWS:

A. Replacement of (2) 24"x36" sheets:

- S4.0
- S5.2

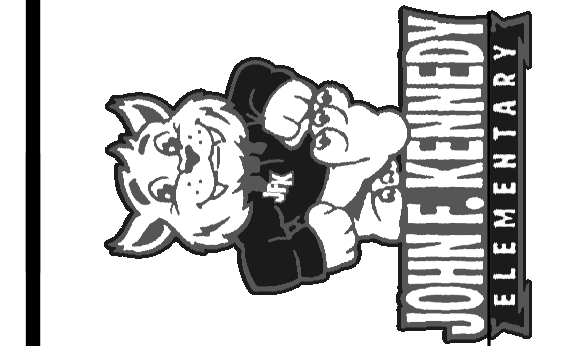
B. Addition of (1) 24"x36" size sheet:

- S3.0

End of – Addendum #1

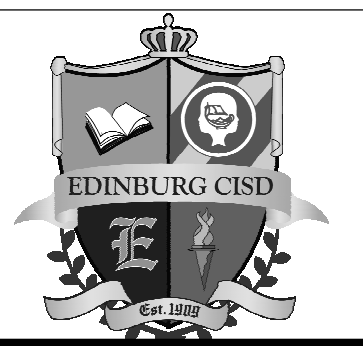


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JOHN F. KENNEDY ELEMENTARY

8610 TEX. MEX. RD. EDINBURG, TX. 78542
100% CD'S - ISSUE FOR PROPOSAL PERMIT



KEY PLAN
NORTH: PLAN TRUE

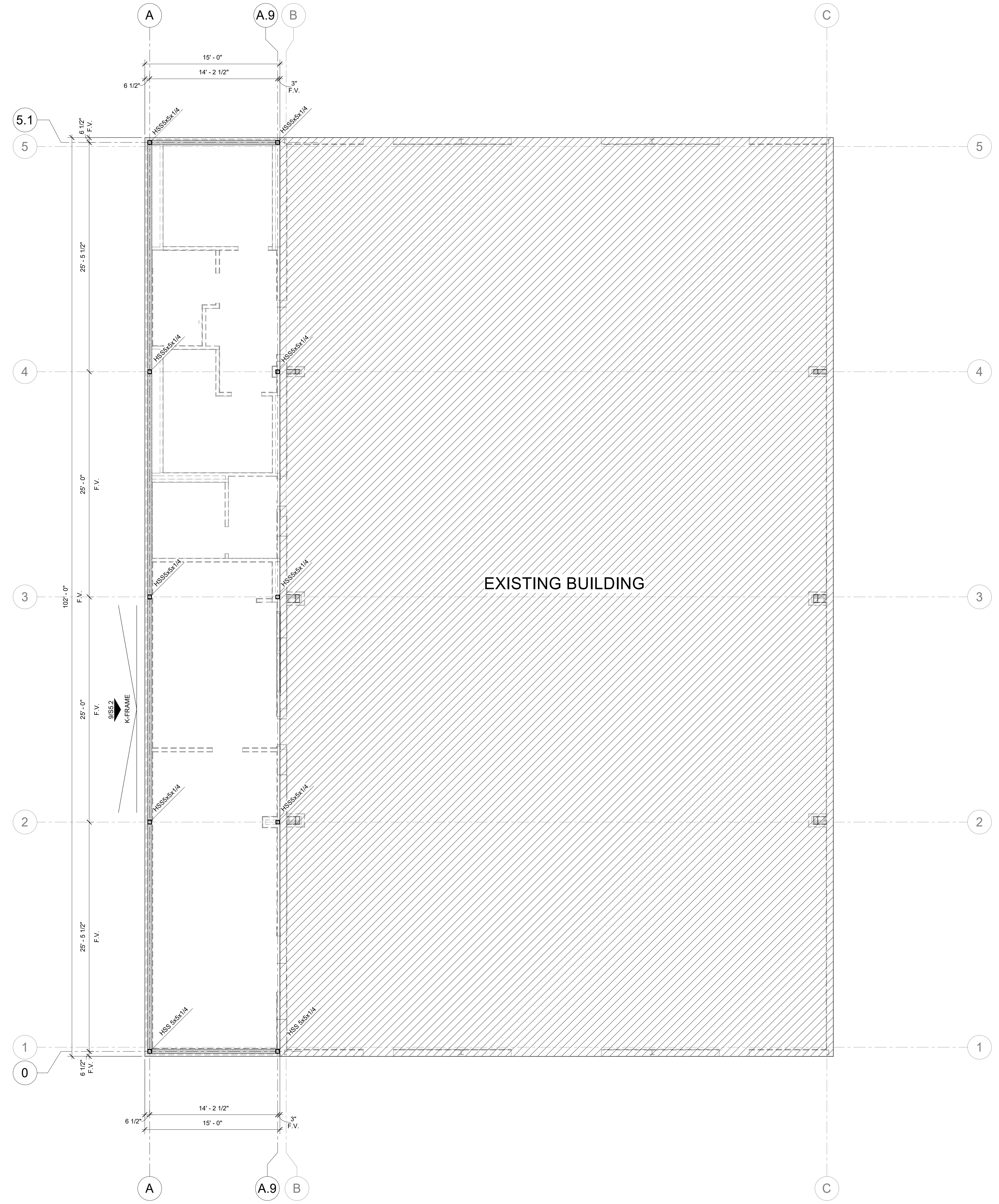


CLIENT		EDINBURG CISD
DATE	PROJECT NUMBER	
10/12/2022	22259	
DRAWING HISTORY		
No.	Description	Date
1	Addendum #1	11/08/22

100% CD'S - ISSUE FOR PROPOSAL PERMIT

WALL LAYOUT PLAN

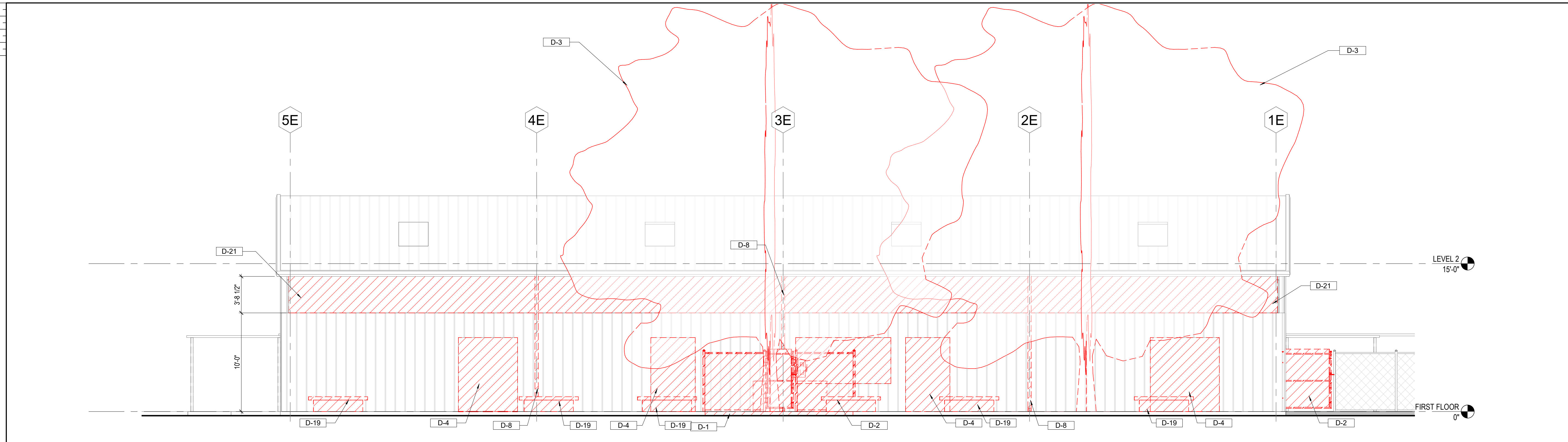
S3.0



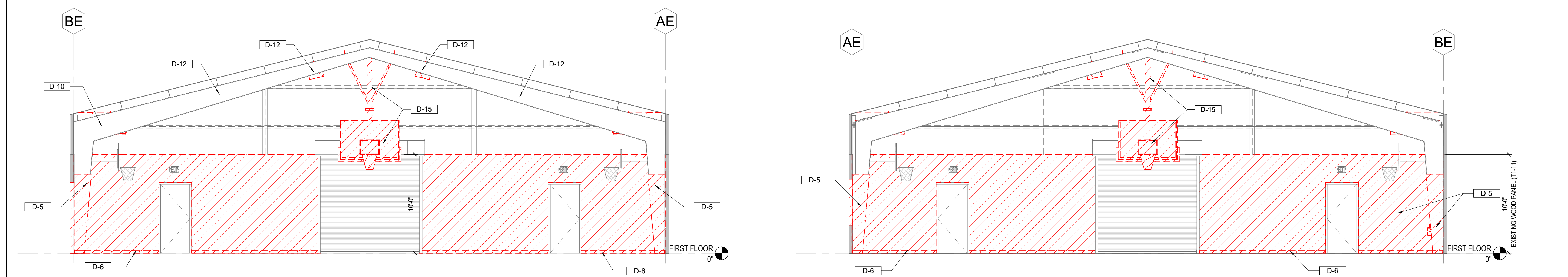
- WALL LAYOUT NOTES:**
1. IF ANY DISCREPANCIES ARE FOUND BETWEEN THESE DRAWINGS AND THE ARCHITECTURAL DRAWINGS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER BEFORE COMMENCING CONSTRUCTION.
 2. [Symbol] INDICATES EXTERIOR WALL FRAMED WITH 600S 162-54 (60KS) METAL STUDS AT 16" O.C. U.N.O.
 3. FOR SPECIAL INSPECTION REQUIREMENTS SEE GENERAL NOTES.
 4. ALL TOP OF WALLS FROM FINISH FLOOR ELEVATION 0'-0".
 5. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION, LENGTH, AND HEIGHT OF ALL OPENINGS IN CMU WALLS.
 6. FOR CONTROL JOINT LOCATIONS, SEE ARCHITECTURAL DRAWINGS.
 7. [Symbol] INDICATES BRACE, SEE ELEVATION FOR MORE INFORMATION.
 8. [Symbol] INDICATES K-FRAME, SEE ELEVATION 8/SS 2 FOR MORE INFORMATION.

1 WALL LAYOUT PLAN
3/16" = 1'-0"

DEMOLITION EXTERIOR & INTERIOR ELEVATIONS
 FOR BLUEBAM LABELING COOR.
 AD501
 11/7/2022 4:07:52 PM
 CHECKED BY: Checker
 DRAWN BY: Author
 Plot Stamp: 11/7/2022 4:07:52 PM
 File Path: C:\Users\jperrez\Documents\ECSDS John F. Kennedy Elementary - 22019 (R21) - Lemnaco.perrez\FD01H.vit

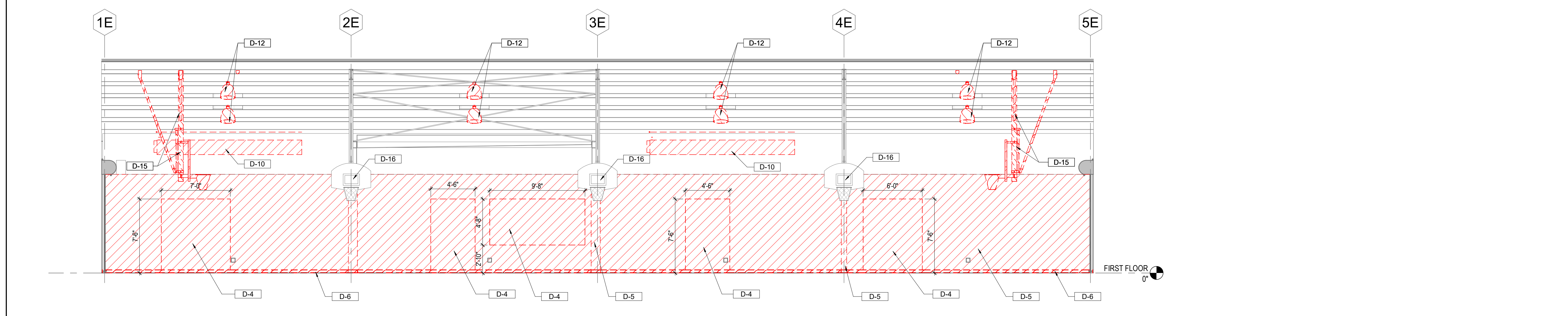


24 EXISTING EXTERIOR DEMO GYMNASIUM - WEST ELEVATION
3/16" = 1'-0"

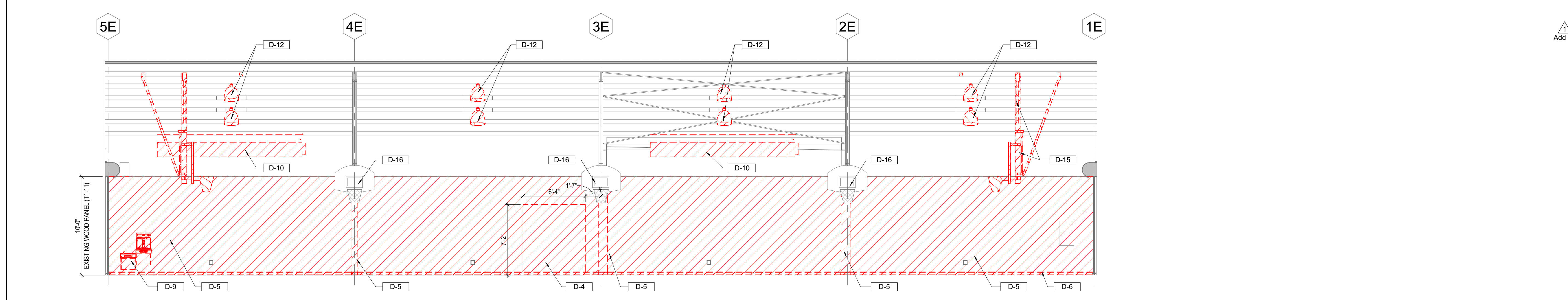


18 EXISTING INTERIOR DEMO GYMNASIUM - SOUTH ELEVATION
3/16" = 1'-0"

16 EXISTING INTERIOR DEMO GYMNASIUM - NORTH ELEVATION
3/16" = 1'-0"



12 EXISTING INTERIOR DEMO GYMNASIUM - WEST ELEVATION
3/16" = 1'-0"

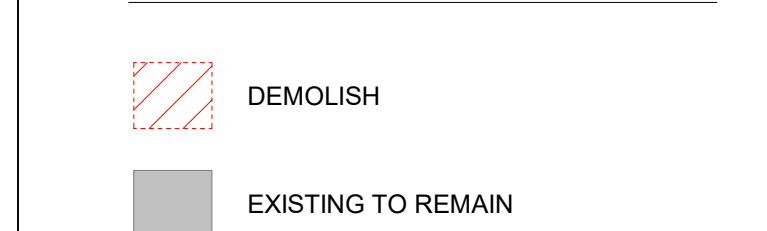


06 EXISTING INTERIOR DEMO GYMNASIUM - EAST ELEVATION
3/16" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE OF WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL, OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FINISH OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE OF WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPlice NEW REINFORCING BARS DOWN INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR RETARDER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW UNITS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION HEAD AS INDICATED. IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS.
- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, UNLESS NOTED OTHERWISE.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES U.N.O.

DEMOLITION LEGEND



KEY NOTE LEGEND

KEYNOTE	DESCRIPTION
D-1	DEMOLISH CONCRETE PAD/CONCRETE SIDEWALK
D-2	REMOVE EXISTING FENCE/GATE
D-3	REMOVE, SALVAGE & RELOCATE EXISTING TREES
D-4	DEMOLISH EXISTING WALL, BRACE AND PREPARE FOR NEW CONSTRUCTION
D-5	CAREFULLY REMOVE AND SALVAGE EXISTING WOOD PANEL (T1-11) FOR REUSE
D-6	CAREFULLY REMOVE EXISTING WOOD BASE WITHOUT DAMAGING EXISTING WOOD PANEL (T1-11)
D-8	REMOVE EXISTING DOWNSPOUT
D-9	REMOVE EXISTING WATER FOUNTAINS
D-10	REMOVE AIR HANDLING UNITS
D-12	REMOVE LIGHT FIXTURE
D-15	REMOVE EXISTING BACKSTOP & SUPPORTS, RETURN TO OWNER
D-16	EXISTING FLOOR BACKSTOP & FRAME TO REMAIN, ADJUST & SECURE AS NECESSARY, PREPARE FOR REUSE
D-19	CAREFULLY REMOVE EXISTING TRANSLUCENT WALL PANELS, PREPARE FOR NEW METAL WALL PANEL

ARCHITECT: HOUSTON PKB Architects, Inc. PKB.com
 11 Greenway Plaza, 22nd Floor
 Houston, TX 77046
 713-965-0688 P
 TX Firm BR 1600
 713-961-4571 F

JOHN F. KENNEDY
REGISTERED PROFESSIONAL ENGINEER
NO. 19999241
CHAIRMAN ENGINEERS, LLC
19999241

GYMNASIUM ADDITION & RENOVATION
JOHN F. KENNEDY ELEMENTARY

8610 TEX. ME. RD. EDINBURG, TX. 78542
 100% CD'S - ISSUE FOR PROPOSAL/PERMIT

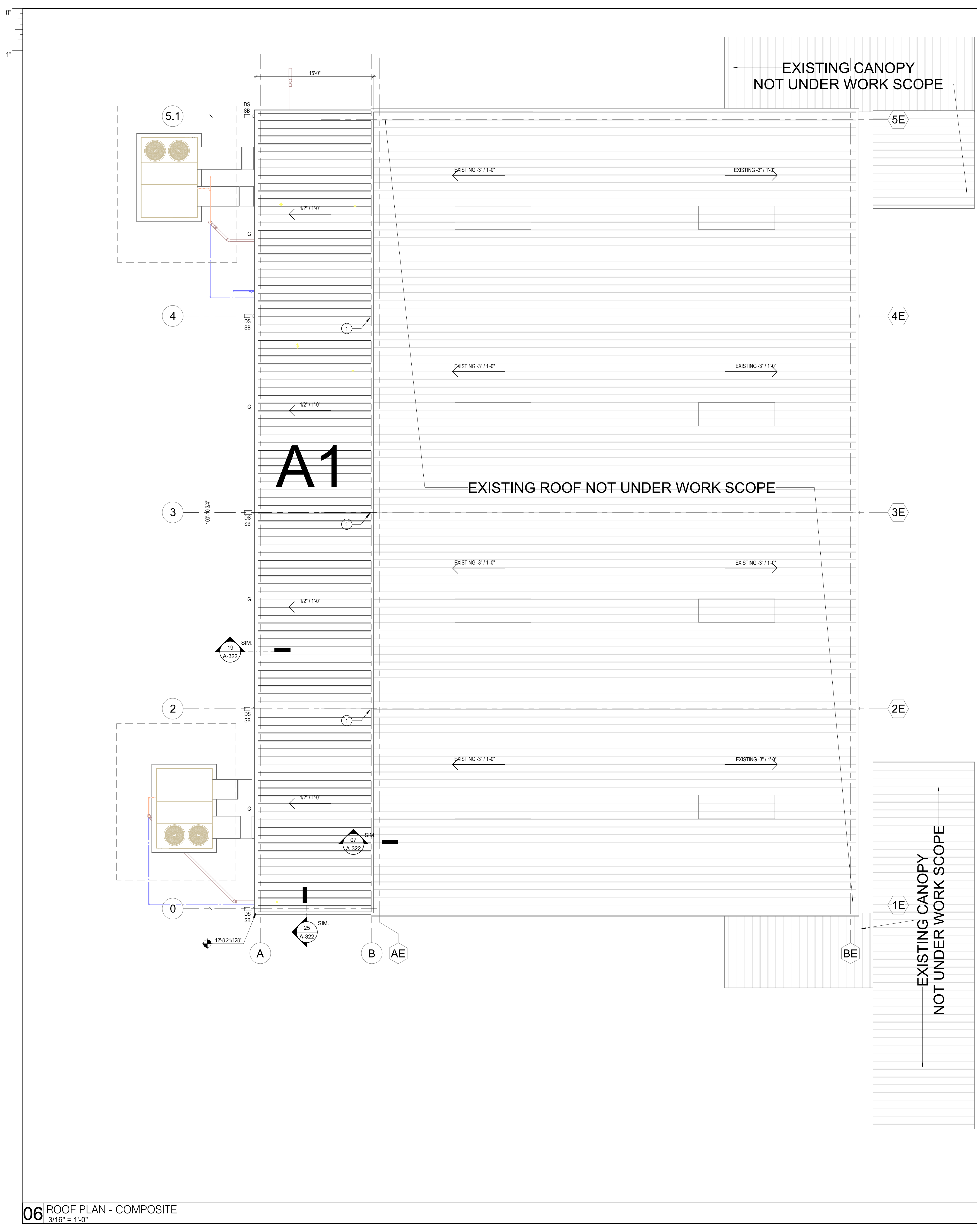
CLIENT: EDINBURG CISD
 DATE: 10/12/2022 PROJECT NUMBER: 220019
 DRAWING HISTORY:

No.	Description	Date
1	Addendum No 1	11/08/2022

100% CD'S - ISSUE FOR PROPOSAL/PERMIT

DEMOLITION EXTERIOR & INTERIOR ELEVATIONS

AD501



06 ROOF PLAN - COMPOSITE
 3/16" = 1'-0"

02 ROOFING - AREAS
 1 1/2" = 1'-0"

AREA	APPROX SQ. FT.	NOMENCLATURE
A1	1,531	A1
TOTAL	1,531	

8 ROOFING - KEYNOTES
 1 1/2" = 1'-0"

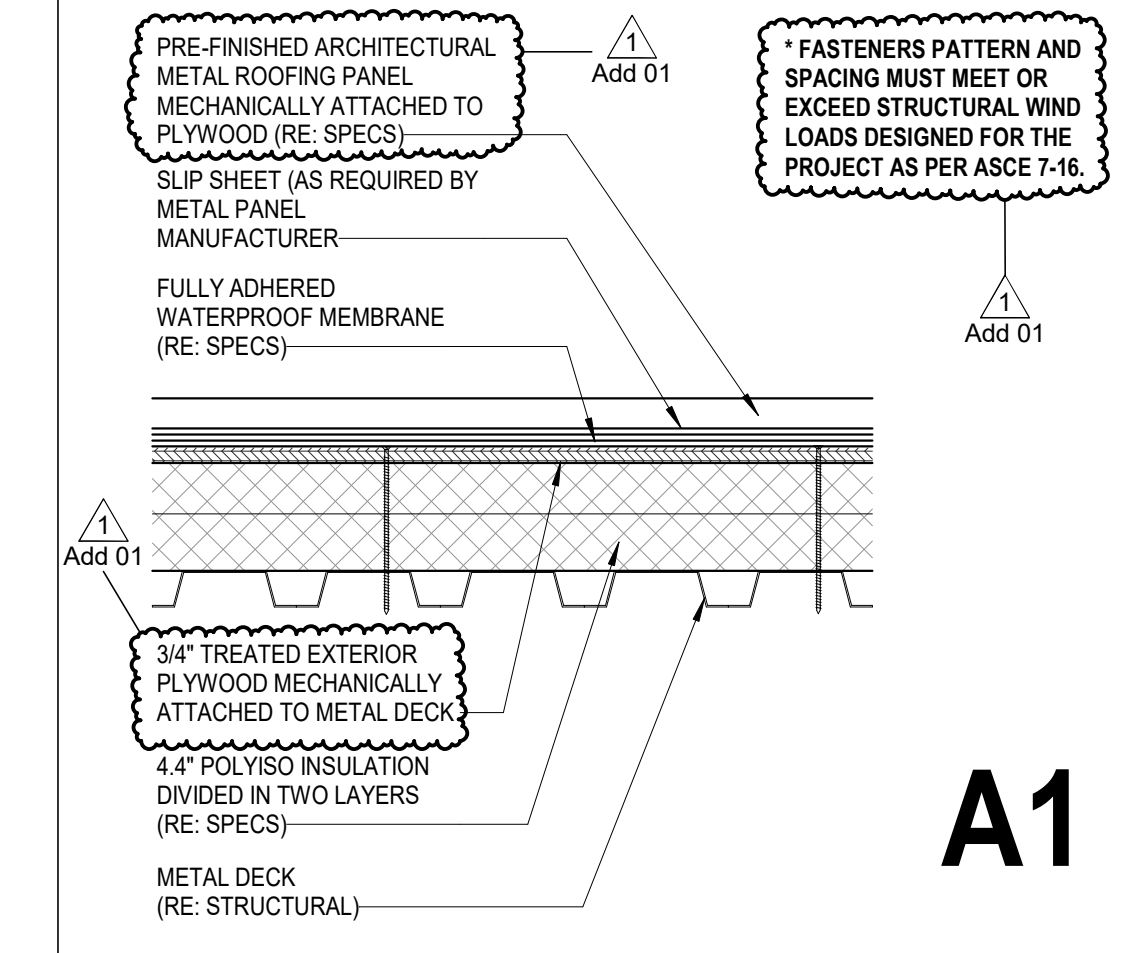
1 REPLACE EXISTING DOWNSPOUTS TO DAYLIGHT ONTO NEW ROOF.

NOT USED

NOT USED

NOT USED

01 ROOFING (METAL) - NOMENCLATURE
 1 1/2" = 1'-0"



07 ROOFING - LEGEND (NEW)
 1 1/2" = 1'-0"

PLUMBING VENT	GOOSE NECK VENT	EXHAUST AND SUPPLY FAN ON SINGLE CURB
FLANGE VENT	CURB MOUNTED AC	RIDGE LINE
PITCH PAN	SPLASH BLOCK	WALK PAD
NEW ROOF DRAIN	SPLASH PAN	NEW TAPERED INSULATION CRICKET
OVERFLOW DRAINS	AC ON SUPPORT CURBS	ROOF AREA DESIGNATION
WALL DRAIN	ROOF HATCH	TAPERED LIGHT WEIGHT CONCRETE
CURB MOUNTED VENT	SKYLIGHTS	AREA DIVIDER
CURB MOUNTED INTAKE	ANTENNA	EXPANSION JOINT
GUY WIRE	SATELLITE DISH	CONDENSATE LINE
POWER VENT	SCUPPER	WATER LINE
HEATER VENT	GUTTER	ELEC. LINE
BOILER VENT	DOWNSPOUT	GAS LINE
TURBINE VENT	WALL LADDER	
PIPE BOX	SWING LADDER	

13 GENERAL NOTES (EXISTING AND NEW)
 1 1/2" = 1'-0"

- CONTRACTOR SHALL VISIT SITE TO ASCERTAIN EXACT EXISTING CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUEST FOR ADDITIONAL MONEY SHALL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING THE SITE VISIT BY THE CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN IN THESE CONSTRUCTION DOCUMENTS ARE FOR CONVEYANCE OF DESIGN INTENT ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION OF EXISTING CONDITIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN AND CONFIRM.
- INDICATED ROOF HEIGHTS ARE GENERAL IN NATURE.
- REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS ARE MARKED WITH DESIGNATED LETTER OR ROOF PLAN.
- NOTE THAT THE DETAILS DRAWN ARE GENERIC IN NATURE AND ARE NOT NECESSARILY LOCATED AND KEVD TO THE ROOF PLANS.
- REMOVE ALL ABANDONED EQUIPMENT IDENTIFIED ON SITE AND AS SHOWN OTHERWISE ON THESE DOCUMENTS.
- ALL NEW CRICKETS AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISHED 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- REPLACE ROTTEN AND / OR OTHERWISE DETERIORATED WOOD NAILER MATERIAL WITH NEW LIKE MATERIAL AND THICKNESS.
- PATCH EXISTING METAL ROOF DECK (AS APPLICABLE) FOR HOLES LESS THAN 10" WIDE BY ANCHORING 22 GA. STAINLESS STEEL SHEET METAL TO BOTTOM OF EXISTING METAL ROOF DECK AND ADDING NEW INSULATION TO MATCH THICKNESS. PATCH EXISTING METAL ROOF DECK FOR HOLES GREATER THAN 10" WIDE BY ANCHORING 22 GA. STAINLESS STEEL SHEET METAL TO BOTTOM OF EXISTING METAL ROOF DECK SPANNING FROM JOIST TO JOIST.
- AS APPLICABLE, ALL HVAC AND / OR DX UNITS, ELECTRICAL TRANSFORMERS, ROOF TOP EQUIPMENT, ETC. THAT ARE ON SLEEPERS SHALL BE DISCONNECTED / REMOVED, RAISED, AND PLACED ON NEW CURBED PLATFORMS AS DETAILED AND REINSTALLED / RECONNECTED. ALL CURB MOUNTED HVAC UNITS, EQUIPMENT, ETC. SHALL HAVE A MINIMUM 10" CURB HEIGHT AND ARE TO BE RAISED AS REQUIRED.
- WORK TO ANY UTILITY CONDUIT OR PIPE SHALL BE PERFORMED BY SPECIFIC LICENSED SUBCONTRACTORS SPECIALIZING IN HVAC, PLUMBING AND ELECTRICAL WORK. PERMITS AND INSPECTIONS ARE REQUIRED. REROUTE AND / OR MODIFY UTILITY CONDUIT OR PIPE AS REQUIRED TO BE INSTALLED AS DETAILED.
- REPLACE INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, REPLACE AND RAISE ALL EXISTING EXPANSION JOINTS / AREA DIVIDERS / CURB MOUNTED EQUIPMENT / SKYLIGHTS (AS APPLICABLE) A MIN. 10" ABOVE ROOF DECK.
- ALL SOIL STACK FLASHING SHALL BE A MIN. 10" ABOVE FINISHED ROOF SURFACE. COUPLE PVC PIPE ABOVE DECK AND COUPLE CAST IRON PIPE BELOW DECK.
- ALL PIPING / CONDUITS / ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. NEW AND EXISTING PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS AS SPECIFIED. RAISE EXISTING PIPING / CONDUITS / ETC. AS REQUIRED. MEP CONTRACTORS SHALL PROVIDE SUPPORTS FOR UTILITY LINES.
- PROVIDE SHEET METAL HOODED (WITH METAL FACE CLOSURE) CAPS, WOOD CURB, BOX COVER AT ALL GAS AND WATER PIPE ROOF PENETRATIONS AS DETAILED. PROVIDE POSITIVE SLOPE AWAY FROM FACE COVER.
- INSTALL NEW SPLASH PAN AT ALL LOCATIONS WHERE ROOF DRAINAGE DISCHARGES ONTO ROOF AREA. INSTALL NEW SPLASH BLOCKS WHERE ROOF DRAINAGE DISCHARGES ON GROUND.
- ISOLATE ALL HEAT PIPES / FLUES AS DETAILED AND RECOMMENDED AND OUTLINED IN THE NRCA MANUAL FOR HOT STACK FLASHING AND AS DETAILED.
- ALL OUTSIDE AIR INTAKES SHALL BE COVERED TO ELIMINATE ODORS AND FUMES FROM ENTERING INTO THE BUILDING DURING CONSTRUCTION WORK.
- AFTER SUBSTANTIAL COMPLETION, THE GENERAL CONTRACTOR SHALL EXAMINE AND CLEAN NEW DRAIN LINES AND NEW AND EXISTING (AS APPLICABLE) GUTTERS OF DEBRIS AND BLOCKAGE. FLUSH WITH WATER TO ENSURE THAT DRAINS AND GUTTERS FLOW FREELY.
- OWNER WILL VERIFY PROPER OPERATION OF ALL ROOF TOP EQUIPMENT BEFORE AND AFTER THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL INOPERABLE EQUIPMENT PRIOR TO RELEASE OF RETAINAGE.
- PRIOR TO COMMENCEMENT OF WORK, COORDINATE WALK OF ENTIRE ROOF WITH ROOFING MANUFACTURER'S TECHNICAL REPRESENTATIVE TO IDENTIFY AND LOCATE ALL AREAS OF HIGH SLOPE OR OTHER CONDITIONS WHICH MIGHT REQUIRE SPECIAL PROCEDURES FOR SYSTEM ATTACHMENT.
- REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOF TOP EQUIPMENT.
- REPLACE ALL RUSTED AND / OR DETERIORATED EXISTING METAL VENT FLASHING AND FLUES, ETC. ARE INSTALLED MIN. 4" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE. MECHANICAL EQUIPMENT TO BE LOCATED MIN. 10'-0" FROM PERIMETER EDGE AND NO CLOSER THAN 4'-0" FROM RISE WALLS, OR ANY OTHER ROOF PENETRATION.
- LOCATE PERIMETER DRAINS MAX. 6" FROM EDGE TYPE UNLESS SHOWN OTHERWISE. (GENERAL CONTRACTOR TO COORDINATE WITH ROOFING AND PLUMBING CONTRACTOR.)
- THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5" FROM CORNERS.
- GENERAL CONTRACTOR SHALL COORDINATE LOCATION AND ORIENTATION OF ROOF HATCH AND ACCESS LADDER.
- GENERAL CONTRACTOR SHALL COORDINATE ALL TOP OF STEEL TO TOP OF BLOCKING AND SUBSTRATE BOARD DIMENSIONS IN FIELD PRIOR TO ORDERING MATERIALS. NO ADDITIONAL COMPENSATION WILL BE GRANTED FOR FAILURE TO COORDINATE THESE DIMENSIONS.
- GENERAL CONTRACTOR SHALL VERIFY ROOF SLOPES WILL PROPERLY DRAIN AS SHOWN. TAPERED INSULATION HATCHING SHOWN IS NOT INTENDED TO ILLUSTRATE THE ENTIRE LIMITS OF TAPERED INSULATION. ROOF AREAS NOT SLOPED BY STRUCTURE SHALL BE SLOPED WITH TAPERED INSULATION TO ACHIEVE PROPER DRAINAGE.
- NOT USED
- DO NOT ALL EXISTING GAS PIPE TO REMAIN.
- NOT USED
- NOT USED

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 TX Firm BR 1680

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 ELEMENTARY

GYMNASIUM ADDITION & RENOVATION
JOHN F. KENNEDY ELEMENTARY

8610 TEX. MEX. RD. EDINBURG, TX. 78542
 100% CD'S - ISSUE FOR PROPOSAL/PERMIT

EDINBURG CISD

KEY PLAN
 NORTH, PLAN, TRUE

REGISTERED ARCHITECT
 FOR E. CANALES
 No. 29981
 STATE OF TEXAS
 10/12/2022

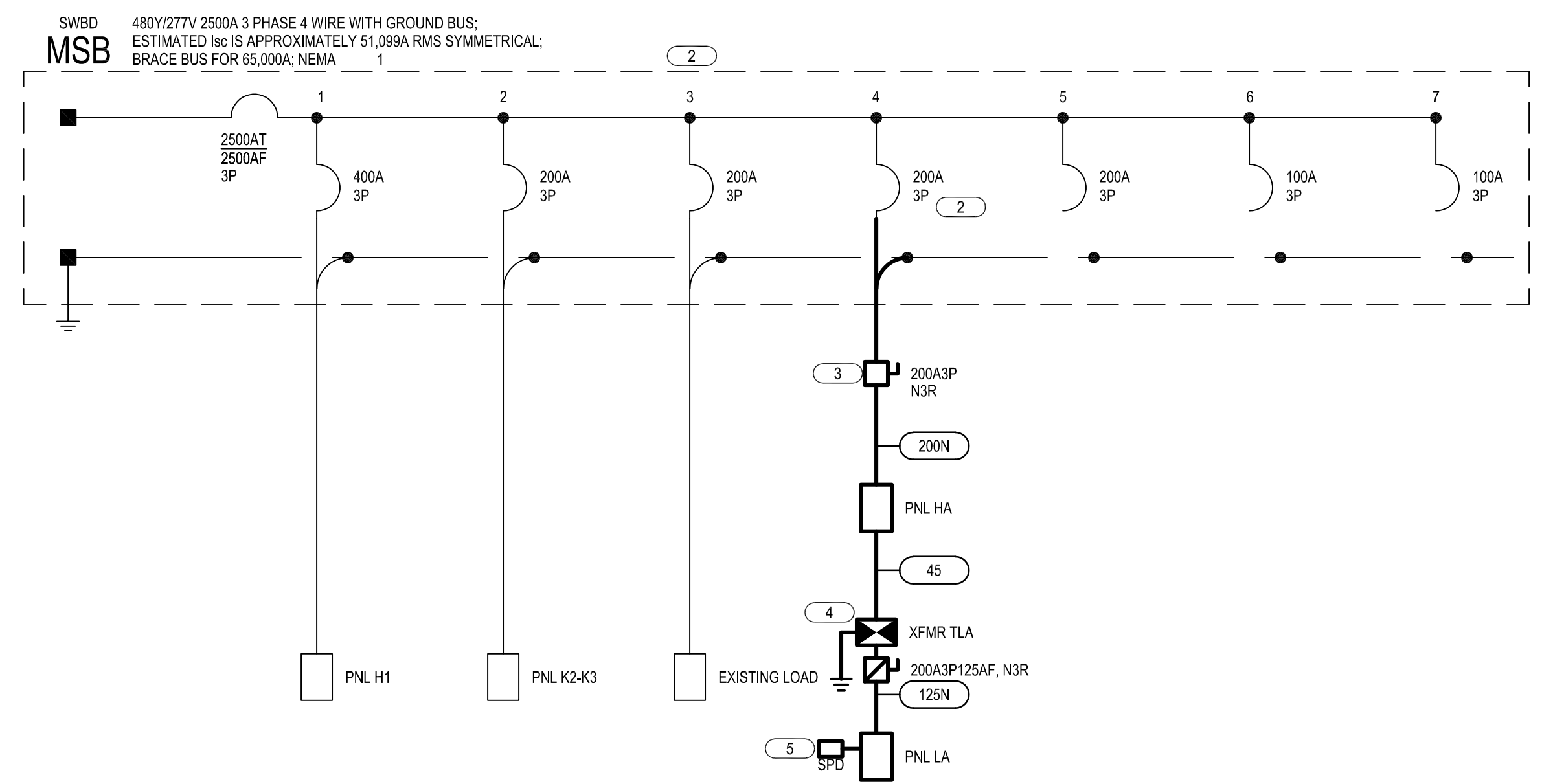
CLIENT
 EDINBURG CISD
 DATE 10/12/2022 PROJECT NUMBER 220019

No.	Description	Date
1	Addendum No 1	11/08/2022

100% CD'S - ISSUE FOR PROPOSAL/PERMIT

ROOF PLAN - COMPOSITE

A-301



1 ELECTRICAL ONE-LINE DIAGRAM
SCALE: NTS

ELECTRICAL GENERAL NOTES:

- COORDINATE ALL NEW SITE WORK WITH ALL OTHER DISCIPLINES AND EXISTING SITE UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- COORDINATE WITH TECHNOLOGY DRAWING FOR ADDITIONAL ELECTRICAL ROUGH-IN REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION.
- COORDINATE ANY AND POWER OUTAGES WITH OWNER MIN. 72 HOURS PRIOR TO OUTAGE.
- ALL CONDUIT INSTALLED IN WET AND DAMP LOCATIONS: PROVIDE RIGID STEEL CONDUIT. PROVIDE WEATHER RESISTANT, CAST METAL JUNCTION AND PULL BOXES.
- ALL CONDUCTORS SHALL BE 600VOLT AND SHALL BE COPPER WITH INSULATION OF THE FOLLOWING TYPES, UNLESS OTHERWISE NOTED ON THE DRAWINGS. FOR DRY LOCATIONS, PROVIDE TYPE THHN CONDUCTORS. CONDUIT SIZES ARE BASED ON TYPE THHN WIRE. FOR DAMP OR WET LOCATIONS, PROVIDE TYPE THWN CONDUCTORS.
- ALL CONDUCTORS SHALL BE COPPER. ALL WIRING #10 AND LARGER SHALL BE STRANDED.
- ALL DISCONNECT SWITCHES SHALL SQUARE D CLASS 3110 OR EQUIVALENT AND RATED FOR 600V.

KEYED NOTES - ONE LINE DIAGRAM

- EXISTING SWITCHBOARD MSB TO REMAIN.
- EXISTING SPARE 200A3P SWITCH IN EXISTING SWITCHBOARD MSB SHALL BE USED TO SERVE NEW PANEL HA IN GYM.
- CONTRACTOR TO INSTALL NEW 600V, 200A3P, NON-FUSED, NEMA-3R DISCONNECT SWITCH ON WALL OF GYM SEE ELECTRICAL SITE PLAN FOR LOCATION. PROVIDE LABEL ON SWITCH "GYM DISCONNECT SWITCH". LABEL SHALL BE PERMANENT AND IDENTIFY THE NAME OF THE EQUIPMENT SERVED, VOLTAGE, AND CIRCUIT NUMBER AND WHERE LOAD IS SERVED FROM. ON ELECTRICAL SWITCHBOARDS AND PANELBOARDS INCLUDE PANEL NAME, AMP RATING, VOLTAGE, PHASE AND NUMBER OF WIRES. INSTALL DRIVEN GROUND ROD BELOW DISCONNECT SWITCH AND CONNECT #6 BARE COPPER GROUND TO GROUND ROD. PROVIDE 3/4" DIA. X 10'-0" LONG COPPER CLAD STEEL GROUND ROD.
- INSTALL NEW TRANSFORMER OUTSIDE BUILDING ON 4" HIGH CONCRETE HOUSEKEEPING PAD WHERE INDICATED PLAN.
- SURGE PROTECTION DEVICE: SPD REFER TO SPECIFICATION SECTION 26.43.00.

PANELBOARD HA												
VOLTAGE: 480Y/277 VOLT 3 PHASE 4 WIRE					LOCATION: ROOM A107							
200 A MAIN BREAKER					MOUNTING SURFACE							
BUSES: MAIN - 225 A NEUTRAL - 100%; EQUIPMENT GROUND					ISC = 22,000 A RMS SYM AVAILABLE							
VAL	V-M	VA-O	LOAD	BKR	CKT	CKT	BKR	LOAD	VAL	V-M	VA-O	
532			LIGHTING RM A100 ZONE 1	201	1	A	2	201	LIGHTING RM A101-A107	634		
532			LIGHTING RM A100 ZONE 2	201	3	B	4	201	EXTERIOR LIGHTING	304		
1064			LIGHTING RM A100 ZONE 3	201	5	C	6	201	SPARE	0		
0	12555		RTU-01	703	7	A	8	703	RTU-02	0	12555	
0	12555		-	-	9	B	10	-	-	0	12555	
0	12555		-	-	11	C	12	-	-	0	12555	
0			SPARE	201	13	A	14	201	SPARE	0		
0			SPARE	201	15	B	16	201	SPARE	0		
0			SPARE	201	17	C	18	201	SPARE	0		
0			SPARE	201	19	A	20	201	SPARE	0		
0			SPARE	201	21	B	22	201	SPARE	0		
0			SPARE	201	23	C	24	201	SPARE	0		
0			SPARE	201	25	A	26	201	SPARE	0		
0			SPARE	201	27	B	28	201	SPARE	0		
0			SPARE	201	29	C	30	201	SPARE	0		
0			SPARE	-	31	A	32	-	SPACE	0		
0			SPARE	-	33	B	34	-	SPACE	0		
0	3060	1700	XPMR TLA/PANEL LA	453	37	A	38	-	SPACE	0		
0	2340	2404	-	-	39	B	40	-	SPACE	0		
0	360	4080	-	-	41	C	42	-	SPACE	0		
VAL (LIGHTING)				3056 CONNECTED VA				3833 DEMAND VA				
V-M (HVAC)				8100 CONNECTED VA				64872 DEMAND VA				
V-A (OTHER)				8184 CONNECTED VA				8184 DEMAND VA				
VA TOTAL				92340 CONNECTED VA				76889 DEMAND VA				
AMPS: TOTAL				111 CONNECTED AMPS				92 DEMAND AMPS				
L	M	O	TOTAL		VA =		AMPS CONNECTED TO A PHASE @ 277 VOLTS		VA =		AMPS CONNECTED TO B PHASE @ 277 VOLTS	
836	27450	2404	3056		11036		111		30690		111	
1064	25470	4080	3056		11036		111		30690		111	
3056	51090	8184	92340		11036		111		30690		111	

PANELBOARD LA												
VOLTAGE: 208Y/120 VOLT 3 PHASE 4 WIRE					LOCATION: ROOM A107							
125 A MAIN BREAKER					MOUNTING SURFACE							
BUSES: MAIN - 225 A NEUTRAL - 100%; EQUIPMENT GROUND					ISC = 10,000 A RMS SYM AVAILABLE							
VAL	V-M	VA-O	LOAD	BKR	CKT	CKT	BKR	LOAD	VAL	V-M	VA-O	
0	180		RECEPTACLES RM A107	201	1	A	2	4003	SPD	0	0	
0	0		500 INTRUSION / INTERCOMP PANEL	201	3	B	4	-	-	0	0	
0	0		500 FIRE ALARM EXPANDER PANEL	201	5	C	6	-	-	0	0	
0	0		100 FAUCET SENSORS	201	7	A	8	201	TOILET / FAUCET SENSORS	0	100	
0	0		600 DRINKING FOUNTAIN	201	9	B	10	201	FAUCET SENSORS	0	100	
0	0		150 TOILET SENSORS	201	11	C	12	201	TOILET SENSORS	0	150	
0	360		RECEPTACLES A100	201	13	A	14	201	RECEPTACLES A100	0	1440	
0	360		RECEPTACLES A100	201	15	B	16	201	RECEPTACLES A100	0	1440	
0	0		1380 MOTORIZED GOAL	201	17	C	18	202	WATER HEATER	0	1000	
0	540		RECEPTACLES RM A102, A103, A104	201	19	A	20	201	SPARE	0	1000	
0	0		100 HWRP-1	201	21	B	22	201	MOTORIZED SCREEN	0	696	
0	360		EXTERIOR RECEPTACLES	201	23	C	24	201	PROJECTOR	0	600	
0	0		100 EF-01	201	25	A	26	201	EF-04	0	100	
0	0		204 EF-02	201	27	B	28	201	EF-03	0	204	
0	0		200 IDF RACK	201	29	C	30	201	CARD READER	0	100	
0	0		300 ELECTRIC DOOR STRIKE	201	31	A	32	201	RECEPTACLES RM A106	0	540	
0	180		RECEPTACLES RM A105	201	33	B	34	201	RECEPTACLES RM A106	0	360	
0	0		SPARE	201	35	C	36	201	SPARE	0	0	
0	0		SPARE	201	37	A	38	201	SPARE	0	0	
0	0		SPARE	201	39	B	40	201	SPARE	0	0	
0	0		SPARE	201	41	C	42	201	SPARE	0	0	
VAL (LIGHTING)				0 CONNECTED VA				0 DEMAND VA				
V-M (RECEPTACLES)				5760 CONNECTED VA				5760 DEMAND VA				
V-A (OTHER)				8184 CONNECTED VA				8184 DEMAND VA				
VA TOTAL				13944 CONNECTED VA				13944 DEMAND VA				
AMPS: TOTAL				39 CONNECTED AMPS				39 DEMAND AMPS				
L	R	O	TOTAL		VA =		AMPS CONNECTED TO A PHASE @ 120 VOLTS		VA =		AMPS CONNECTED TO B PHASE @ 120 VOLTS	
0	3060	1700	5760		4760		40		5760		40	
0	2340	2404	5760		4760		40		5760		40	
0	360	4080	5760		4760		40		5760		40	
0	5760	8184	13944		4760		40		5760		40	

FEEDER / BRANCH CIRCUIT SCHEDULE					
MARK	RACEWAY	PHASE CONDUCTORS	NEUTRAL CONDUCTORS	GROUND CONDUCTORS	REMARKS
200N	2"	3 #3/0	1 #3/0	1 #6	---
125N	1 1/2"	3 #1	1 #1	1 #6	---
45	3/4"	3 #8	1 #10	1 #10	---
	x	x x	x x	x x	x


LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER & MODEL NUMBER	LAMPS	VA	VOLTAGE	DESCRIPTION	NOTES
A1	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING.	
A1E	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM-BSL10LST LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING. PROVIDE WITH EMERGENCY BATTERY PACK.	
A2	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING.	
A2E	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM-BSL10LST LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING. PROVIDE WITH EMERGENCY BATTERY PACK.	
AF	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM-FMA24 LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING AND DRYWALL GRID ADAPTOR.	
AFE	METALUX DAY-BRITE # 2FPZ38L840-4-DS-UNV-DIM-FMA24-BSL10LST LITHONIA COLUMBIA	LED	4000K	120/277	2X4' LAY-IN RECESSED LED FLUX PANEL WITH STANDARD DIMMING AND DRYWALL GRID ADAPTOR. PROVIDE WITH EMERGENCY BATTERY PACK.	
F	DAY-BRITE # FSS430L840-UNV-DIM LITHONIA COLUMBIA	LED	4000K	120/277	4' LONG LED LENSED STRIP	
FE	DAY-BRITE # FSS430L840-UNV-DIM-EM-LED LITHONIA COLUMBIA	LED	4000K	120/277	4' LONG LED LENSED STRIP WITH EMERGENCY BATTERY PACK	
H1	DAY-BRITE # FBY-18L-840-UNV-WG LITHONIA COLUMBIA	LED	4000K	120/277	NOMINAL 12" X 24" LED HIGH BAY FIXTURE WITH 18,000 LUMENS, WIDE DISTRIBUTION.	
H1E	DAY-BRITE # FBY-18L-840-UNV-WG-BSL10LST LITHONIA COLUMBIA	LED	4000K	120/277	NOMINAL 12" X 24" LED HIGH BAY FIXTURE WITH 18,000 LUMENS, WIDE DISTRIBUTION. PROVIDE WITH EMERGENCY BATTERY PACK.	
W	MCGRAREDISON GRADCO # 121L-16L-700-NWG4-3-UNV LITHONIA	LED	4000K	120/277	LED DARK SKY COMPLIANT WALL PACK	
WE	MCGRAREDISON GRADCO # 121L-16L-700-NWG4-3-UNV-EBPC LITHONIA	LED	4000K	120/277	LED DARK SKY COMPLIANT WALL PACK WITH EMERGENCY BATTERY PACK	
X1	SURE-LITES CHLORIDE # V1TCR3R LITHONIA COMPASS	LED		120/277	UNIVERSAL EXT LIGHT WITH BATTERY. NUMBER OF FACES AND DIRECTIONAL CHEVRONS AS INDICATED ON THE DRAWINGS	1

GENERAL NOTES
1. COLOR TEMPERATURE SHALL BE 4000K UNLESS NOTED OTHERWISE.

NOTES
1. PROVIDE WITH WIREGUARD IN GYMNASIUM

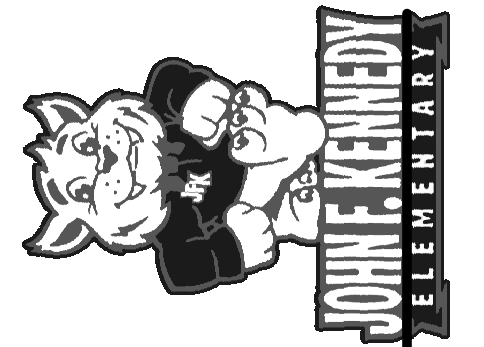
LOAD ANALYSIS JFK			
LIGHTING -	32 EA X 180 VA/EA =	5760 VA X 1.00 =	5760 VA
RECEPTACLES -	>10,000 VA	5760 VA X 1.00 =	5760 VA
	>10,000 VA	0 VA X 0.50 =	0 VA
HEATING -		75330 VA X 1.00 =	75330 VA
OTHER -		8184 VA X 1.00 =	8184 VA
NET CALCULATED DEMAND = 92340 VA			
@ 480Y/277V 3 PH = 111 A			
THE EXISTING 200A SERVICE CONSISTING OF #3/0 (200A) PER PHASE AND NEUTRAL IS ADEQUATE FOR THE SERVICE.			

TRANSFORMER SCHEDULE					
MARK	KVA	PRIMARY VOLTAGE	SECONDARY VOLTAGE	GROUNDING ELECTRODE #	REMARKS
TLA	30	480V DELTA	208Y/120 GND WYE		K-13 RATED



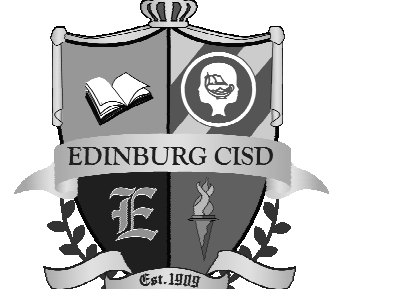
ARCHITECT: PBK Architects, Inc.
HOUSTON, TX 77046
11 Greenway Plaza, 22nd Floor
Houston, TX 77046
713-965-0688 P
713-961-4571 F
TX Firm BR 1600

MEP TECHNOLOGY
LEAF ENGINEERS
NEW PROFESSIONALS
REGISTERED ELECTRICAL ENGINEERS
CHAS. W. HARRIS, LLC
1-800-975-2421



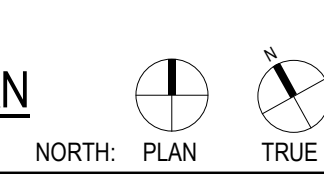
8610 TEX. MEX. RD. EDINBURG, TX 77542
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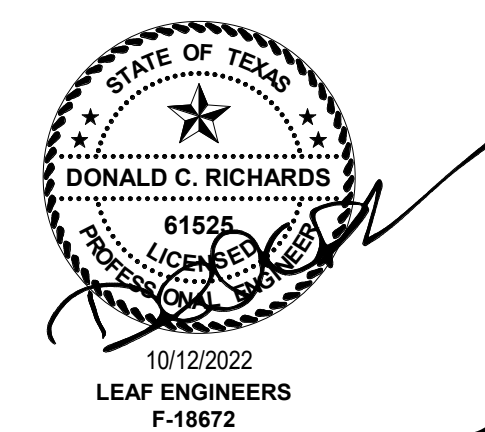
GYMNASIUM ADDITION & RENOVATION
JOHN F. KENNEDY ELEMENTARY



EDINBURG CISD

KEY PLAN





10/12/2022
LEAF ENGINEERS
F-18872

CLIENT: EDINBURG CISD
DATE: 10/12/2022
PROJECT NUMBER: 220019

No.	Description	Date
1	Addendum No 1	11/08/2022

100% CD'S - ISSUE FOR PROPOSAL/PERMIT

ELECTRICAL ONE LINE DIAGRAMS

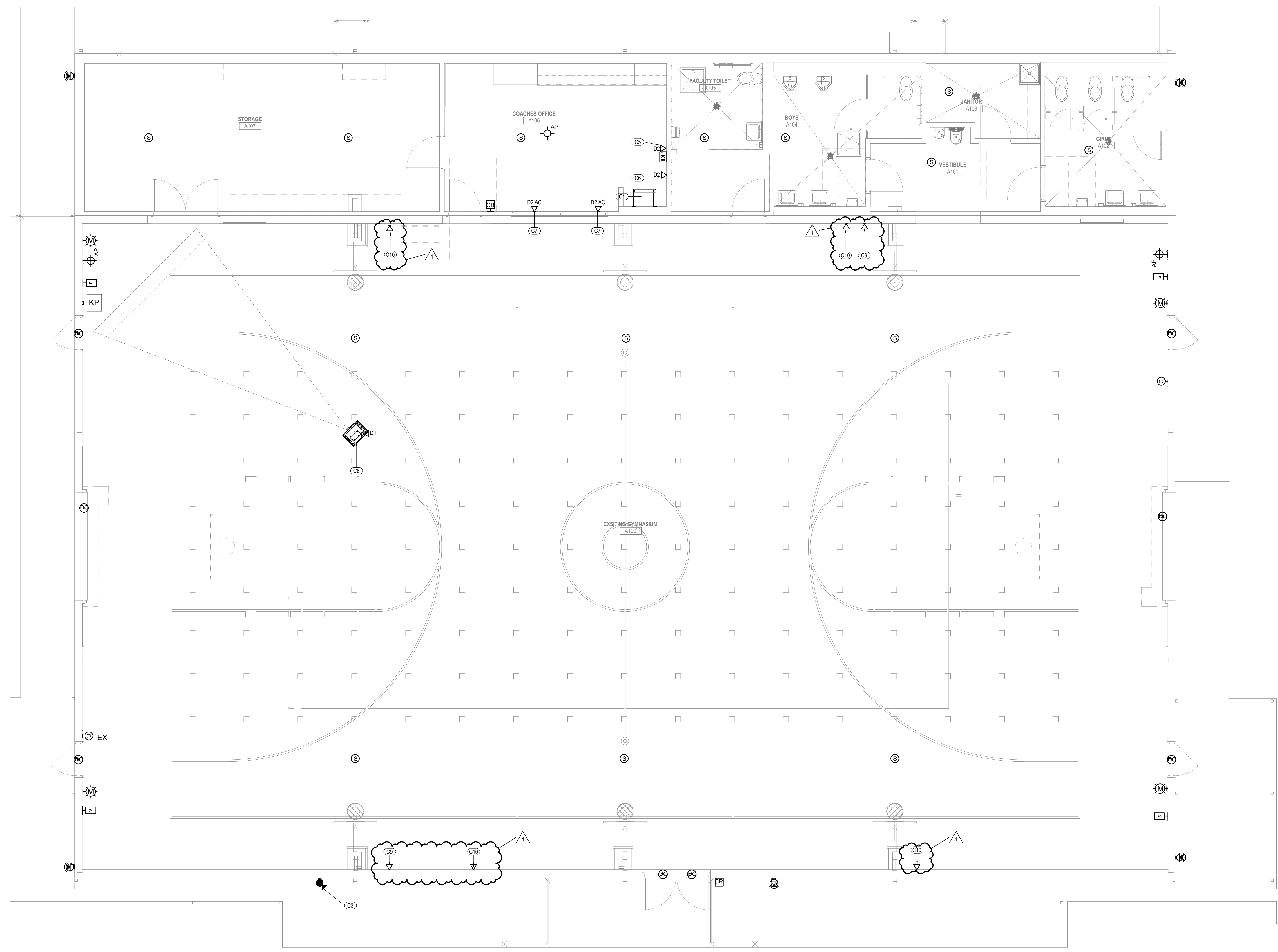
E5.01

KEYED NOTES - COMMUNICATIONS PLAN

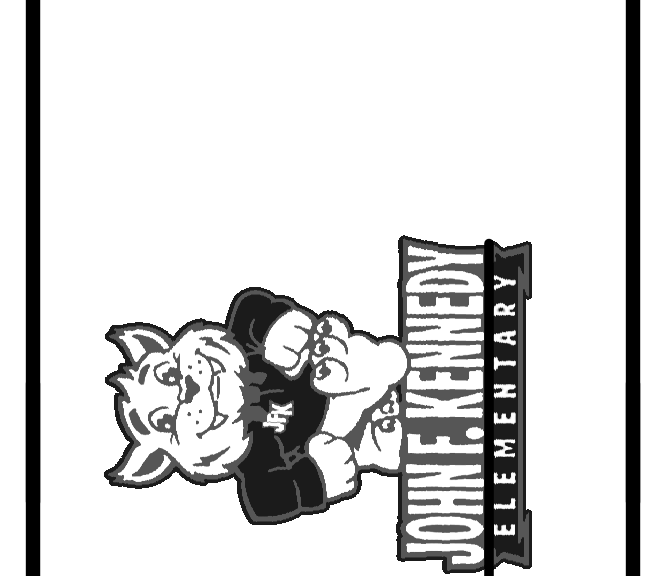
- C1 INDICATES THE LOCATION OF A WALL MOUNTED IT CABINET TO BE INSTALLED AT 6' A.F.F.
- C3 INDICATES THE LOCATION FOR FUTURE CAMERA INFRASTRUCTURE. CONTRACTOR TO PROVIDE CONDUIT AND PULL STRING.
- C5 THIS OUTLET IS INTENDED FOR NETWORK PURPOSES FOR THE INTRUSION ALARM PANEL. COORDINATE LOCATION WITH CONTRACTOR AND TO BE DROPPED INSIDE PANEL.
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TECHNOLOGY - NOTES TO CONTRACTOR

1. REFERENCE SHEET T0.01 FOR DEVICE SYMBOLOLOGY, NOTES AND PROJECT SCOPE.
2. CONTRACTOR TO REFERENCE SPECIFICATION FOR DETAILS ON MATERIAL AND METHODS.
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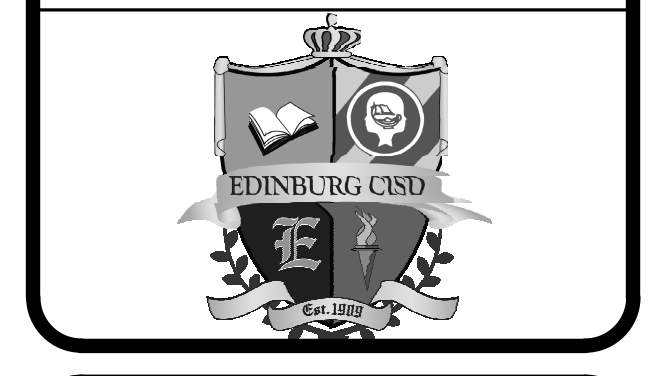


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TX Firm BR 1680
TX Firm BR 1680



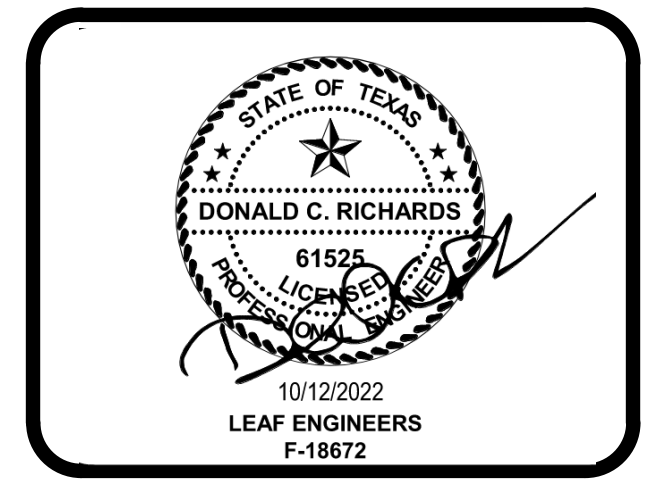
**GYMNASIUM ADDITION & RENOVATION
JOHN F. KENNEDY ELEMENTARY**

8610 TEX. MEX. RD. EDINBURG, TX. 78542
100% CD'S - ISSUE FOR PROPOSAL/PERMIT



KEY PLAN

NORTH PLAN TRUE



CLIENT EDINBURG CISD		PROJECT NUMBER 220019
DATE 10/12/2022		
No.	Description	Date
1	Addendum No 1	11/08/2022

100% CD'S - ISSUE FOR PROPOSAL/PERMIT

TECHNOLOGY PLAN

T2.01

1 TECHNOLOGY PLAN
SCALE: 1/4" = 1'-0"

November 8, 2022

ECISD Betts Elementary School Gym Addition Addendum No. 1

CE Project No.:22-143

The following changes, additions, and/or deletions are hereby made a part of the Construction Documents for the above noted project, fully and completely as if the same were fully contained therein. All other terms, conditions, and specifications of the original Invitation to Bid remain unchanged and is included in the contract.

PLEASE NOTE CHANGES AS FOLLOWS:

A. Replacement of (2) 24"x36" sheets:

- S4.0
- S5.2

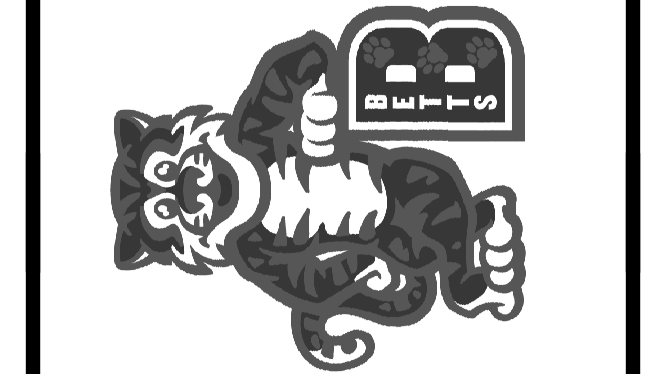
End of – Addendum #1



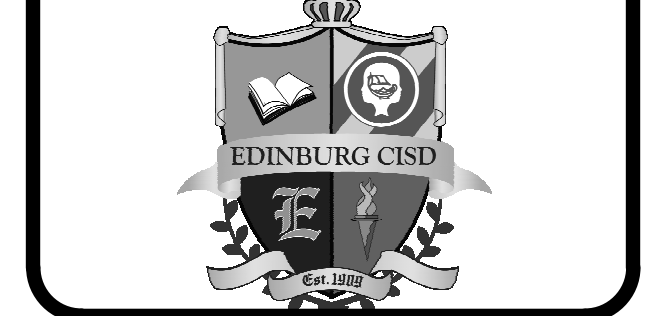
NOT USED	26	NOT USED	21	RIDGID FRAME COLUMN DETAIL	16	SAG STRAP DETAIL	11	STEEL BEAM TO EXISTING COLUMN	6	NOT USED	1
NOT USED	27	NOT USED	22	STEEL BEAM TO FRAME RAFTER	17	STEEL BEAM TO OUTTRIGGER	12	ROOF FRAMING DETAIL	7	PURLIN TO STEEL BEAM CONNECTION	2
NOT USED	28	NOT USED	23	NOT USED	18	RIGID FRAME RAFTER DETAIL	13	ROOF FRAMING DETAIL	8	STEEL BEAM TO STEEL BEAM CONNECTION	3
NOT USED	29	NOT USED	24	NOT USED	19	K FRAME ELEVATION	9	STEEL LINTEL SCHEDULE	4		
NOT USED	30	NOT USED	25	NOT USED	20	NOT USED	15	K-FRAME DETAIL	10	TYPICAL METAL DECK ATTACHMENT	5

CHANIN ENGINEERING, LLC
 400 Nolana, Suite H2
 McAllen, Texas 78504
 PH: (956) 687-9421 FAX: (956) 687-3211
 www.chaninengineering.com
 TBPE FIRM REG. NUMBER F-9369

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 713-961-4571 F
 TX Firm BR 1688
 WEI TECHNOLOGY
 ENGINEERING
 MECHANICAL
 ELECTRICAL
 PLUMBING
 CHANIN ENGINEERING, LLC
 11/09/2021



MELISSA DOTSON BETTS ELEMENTARY
 2720 S. CESAR CHAVEZ RD
 EDINBURG, TX 78542
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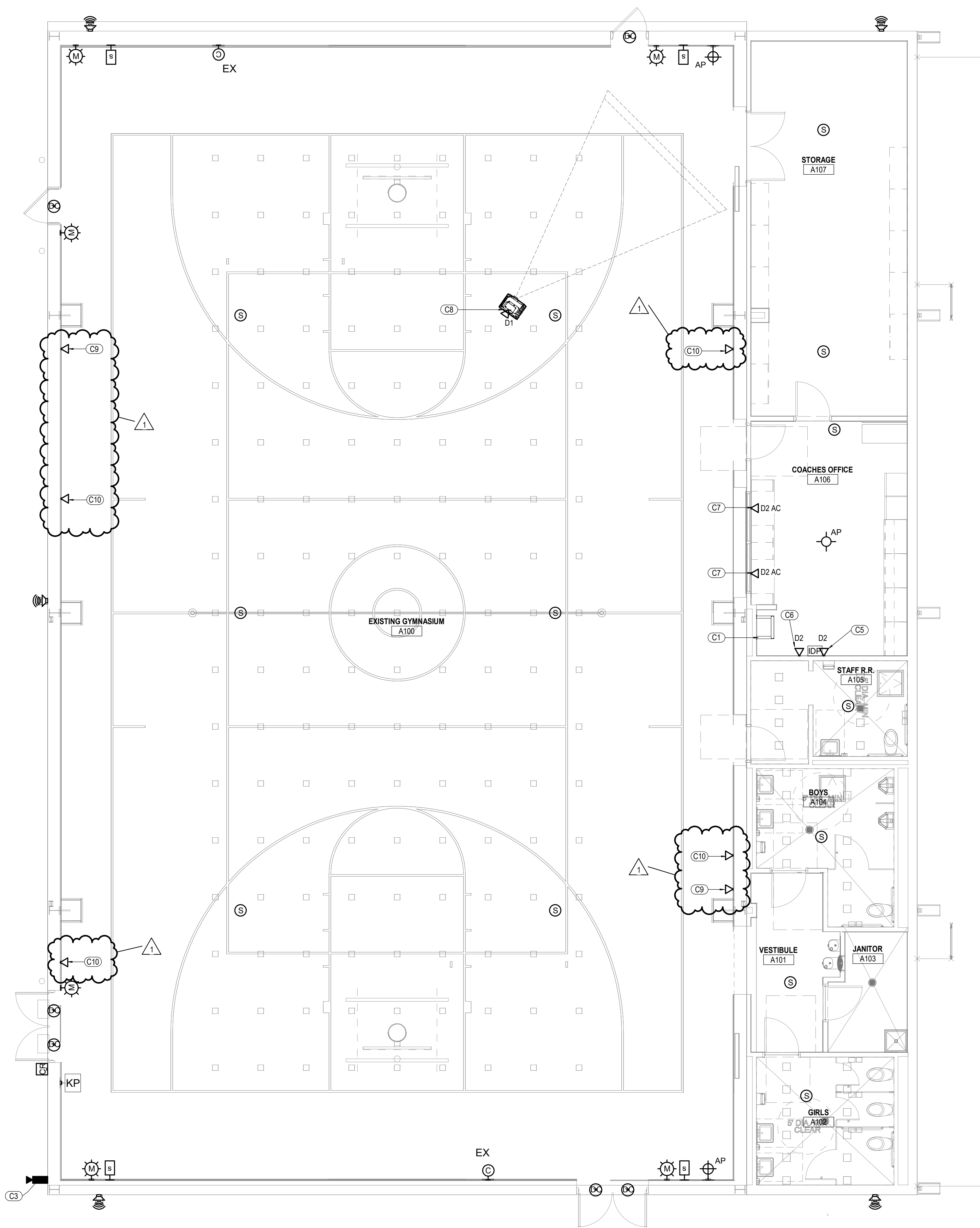


KEY PLAN
 NORTH PLAN TRUE

MIGUEL CHANN
 93127
 10-12-22

CLIENT EDINBURG CISD		PROJECT NUMBER 22259
DATE 10/12/2022		
DRAWING HISTORY		
No.	Description	Date
1	Addendum #1	11/08/22

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STEEL TYPICAL DETAILS




TECHNOLOGY - NOTES TO CONTRACTOR

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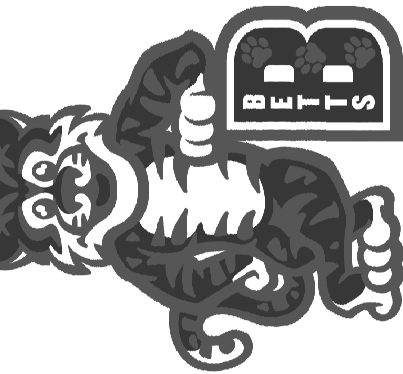
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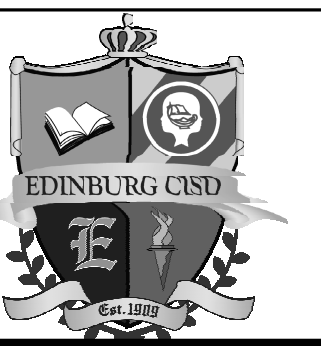
1 TECHNOLOGY PLAN
SCALE: 3/16" = 1'-0"



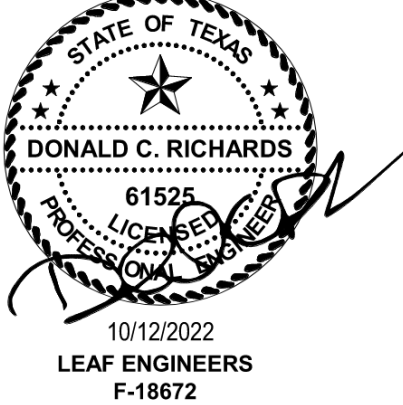
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 LEAD ARCHITECT
 J. JOSE FERRERO
 REGISTERED PROFESSIONAL ARCHITECT
 STATE OF TEXAS
 LICENSE NO. 61525
 CHAIRMAN ENGINEERING, LLC
 119992421



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 EDINBURG, TX 78542
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KEY PLAN
 NORTH: PLAN TRUE



10/12/2022
LEAF ENGINEERS
 F-18872

CLIENT		EDINBURG CISD	
DATE	PROJECT NUMBER	DATE	PROJECT NUMBER
10/12/2022	220019		

DRAWING HISTORY		
No.	Description	Date
1	Addendum No 1	11/08/2022

100% CD'S - ISSUE FOR PROPOSAL/PERMIT

TECHNOLOGY PLAN

T2.01